

F/YR16/0218/F

Applicant: Mr S Turnbull

**Agent : Mrs Alex Patrick
Alexandra Design**

Land North Of Victoria House, Gadds Lane, Wisbech, Cambridgeshire

Erection of a 2-storey 5-bed dwelling with detached garage

Reason for Committee: The application has been called in by Cllr Oliver who considers the location of the site is accessible and sustainable in respect of Policy LP3.

1 EXECUTIVE SUMMARY

The application seeks full planning permission for the erection of a two-storey detached dwelling. The site is located in the open countryside and forms paddock land adjoining the garden of Victoria House.

The site lies outside both the main settlements of Wisbech and Leverington and as such must be deemed an 'elsewhere' location within which development is restricted to that which is demonstrably essential to the effective operation of local agriculture, horticulture, forestry, outdoor recreation, transport and utility services.

The proposal would provide a family size dwelling which represents no issues in terms of design, character, highway safety, flood risk or residential amenity. However, the principle of development is unacceptable as it would result in the introduction of a dwelling within an open countryside location with no relevant justification. As such the proposal is considered unsustainable and contrary to both national and local plan policies.

The development therefore fails to comply with policy LP3 of the FLP.

The application is recommended for refusal.

2 SITE DESCRIPTION

- 2.1 The site is located in the open countryside and comprises paddock land which adjoins the garden of Victoria House behind an established conifer hedge. The area is characterised by sporadic residential development and open fields.
- 2.2 The site is situated between Victoria House, an imposing two storey dwelling which was substantially extended circa 2003, and No 5 Gadds Lane which is a more traditional detached farm house. The northern boundary of the site is formed by a native hedgerow and trees surrounding a post and rail fence. Immediately to the east of the site on the eastern side of Gadds Lane are open fields which currently offer uninterrupted views of the Fenland landscape.

2.3 The majority of the site lies within Flood Zone 1, albeit a small section to the frontage is identified as being within Flood Zone 2 which falls outside the developed footprint of the proposal.

3 PROPOSAL

3.1 The application seeks full planning permission for the erection of a two-storey detached dwelling with a maximum footprint of 14.3 metres wide x 10.2 metres deep. It will have a ridge height of 9.1 metres and an eaves height of 5 metres.

3.2 The design features two symmetrical gable projections, one at either end of the property, which each feature a projecting bay window at ground floor. A double garage is also proposed which is shown to be sited on the northern side of the proposed plot; this is to be accessed via a centrally placed new access which will feature a circular turning area to the front of the dwelling.

3.3 The existing conifer hedge is shown to be removed and a 600mm laurel hedge will be introduced along the site frontage where unaffected by the access.

3.4 Full plans and associated documents for this application can be found at: <https://www.fenland.gov.uk/publicaccess/applicationDetails.do?activeTab=documents&keyVal=O470L9HE01U00>

4 RELEVANT SITE PLANNING HISTORY

Reference	Description	Decision	Date
F/YR16/0018/F	Erection of a 2-storey 5-bed dwelling with detached garage Land North Of Victoria House Gaddis Lane Wisbech Cambridg	Refused	08/02/2016

5 CONSULTATIONS

5.1 **North Level Internal Drainage Board**
No objections

5.2 **Cambridgeshire County Council Highways Authority**
No highway objections subject to conditions controlling;

- on-site turning and parking being provided
- Visibility splays being provided
- Temporary facilities clear of highway
- Access construction in accordance with CCC Highways specification
- 5m of access to be hard surfaced and drained away from the highway

5.3 **Environment Agency**
No objection

5.4 **FDC Scientific Officer (Land Contamination)**
The Environmental Health Team note and accept the submitted information and have 'No Objections' to the proposed development, as it is unlikely to have a

detrimental effect on local air quality or the noise climate nor be affected by ground contamination.

5.5 Wisbech Town Council
Supports the application.

5.6 Local Residents/Interested Parties
No comments received

6 POLICY FRAMEWORK

6.1 National Planning Policy Framework (NPPF):

- Para 55 – Local Planning authorities should avoid new isolated homes in the open countryside unless there are special circumstances
- Para 56 – Good design is a key aspect of sustainable development
- Para 196 – Decisions should be taken in accordance with the development plan
- Para 197 – Presumption in favour of sustainable development

6.3 Fenland Local Plan 2014 (FLP):

- Policy LP1 – A Presumption in Favour of Sustainable Development
- Policy LP2 - Facilitating Health and Wellbeing
- Policy LP3 – Spatial strategy, the settlement hierarchy and the countryside
- Policy LP8 – Wisbech
- Policy LP14 – Responding to climate change and managing the risk of flooding in Fenland
- Policy LP15 – Facilitating the creation of a more sustainable transport network in Fenland
- Policy LP16 - Delivering and Protecting High Quality Environments across the District

7 KEY ISSUES

- **Principle of Development**
- **Policy LP8 – Wisbech Broad Location for growth**
- **Access, Scale layout and appearance**
- **Applicant's supporting statement**
- **Health and wellbeing**
- **Economic Growth**

8 BACKGROUND

8.1 This application follows a previous application -F/YR16/0018/F for the same development (with the exception of slight amendments to the fenestration layout) which was refused for the following reason;

Policy LP3 of the Fenland Local Plan 2014 and national planning policy guidance steers new development to built up areas that offer the best access to services and facilities. This is unless it can be demonstrated that such development is essential to the effective operation of local agriculture, horticulture, forestry, outdoor recreation, transport or utility services, or that there is a justifiable reason for locating development in the proposed location. The site falls within the open countryside, and therefore the principle of development in this location would not be consistent with this policy and national guidance. Whilst the national planning guidance seeks to support a prosperous rural economy this does not override the need to ensure that development is located in the most accessible and sustainable locations. The

proposed development is located in an unsustainable location outside any settlement limits where development is not normally supported unless justified. No relevant justification has been submitted to the local planning authority. The proposal is therefore contrary to Local Plan Policy LP3 of the Fenland Local Plan 2014.

- 8.2 The application has been resubmitted with additional comments for consideration in the design and access statement which include details in respect of recent planning permissions granted on sites in the open countryside for comparison and comments in respect of the site's proximity to the West Wisbech Broad location for growth.

9 ASSESSMENT

9.1 Principle of Development

- 9.1.1 The site lies outside both the main settlements of Wisbech and Leverington and as such must be deemed an 'elsewhere' location within which development is restricted to that which is demonstrably essential to the effective operation of local agriculture, horticulture, forestry, outdoor recreation, transport and utility services. Accordingly the principle of development is not acceptable in terms of the settlement hierarchy as the area is unsustainable and the dwelling would not offer any future residents appropriate access to goods and services. This stance also accords with the NPPF which seeks to ensure developments are sustainably located and to avoid isolated homes in the countryside unless justified by special circumstances.

9.2 Policy LP8 – Wisbech Broad Location for growth

- 9.2.1 The site is immediately west of the 'West Wisbech' Broad Location for growth. This allocation is identified as having the potential to deliver a high quality living environment offering a mix of residential development and open space; although it is recognised that there may be opportunities for some business use.
- 9.2.2 However this allocation is indicative, with the final extent of the allocation to be the subject of a broad concept plan which in turn will be informed by an assessment of flood risk and transport issues.
- 9.2.3 Against this backdrop it is clear that the current submission must be evaluated on the basis of its current relationship to the existing settlements in the locality and whilst there may be opportunities to bring this site forward within the plan period should the broad location for growth be realised, the current location is clearly defined as outside the settlements of Wisbech and Leverington.

9.3 Access, scale, layout and appearance

- 9.3.1 No objections have been raised to the scheme in terms of highway safety given the characteristics of the road environment and the provision of appropriate visibility; furthermore the proposal makes appropriate provision for on-site parking and turning commensurate to the Council's current parking standards. Accordingly there are no issues arising with regard to access under Policy LP15.
- 9.3.2 As indicated the character of development in this location is of open countryside sporadically interspersed with a variety of dwelling styles of differing scales. At present the land is screened by the established conifer hedge to its frontage. The

removal of the hedge and its replacement with a lower level boundary treatment will expose the site and in turn the proposed dwelling and this will result in a reinforcement of the built environment in this location. However, given the location of the site between existing dwellings it is not considered that proposal would result in significant harm to the locality and as such the proposal could not be deemed as unacceptable in character terms and accordingly represents no issues in respect of LP16(d).

- 9.3.3 The scheme proposes a dwelling which is commensurate in scale to others within the grouping, although it will be larger than the farm house to the north in terms of its footprint it is recognised that the site is separated from the curtilage of this dwelling by an established hedgerow which runs alongside the access to the adjacent site. The proposed dwelling is symmetrical and simple in its design and its positioning into the site is such that it will not be unduly dominant. Materials have been specified as Istock Ivanhoe Olde Village (a Multi-red stock) and slate and these are considered appropriate to the setting. Given this evaluation it is considered that the proposal raises no issues with regard to its layout, scale or appearance and may be deemed compliant with policy LP16(d) in this regard,
- 9.3.4 The proposed dwelling will be situated at a distance of circa 18 metres wall to wall from Victoria House to the south and circa 15 metres wall to wall from the dwelling to the south No 5; as such appropriate separation is maintained. Whilst there is a bedroom window proposed in the first floor flank wall (south elevation) there is an intervening outbuilding within the curtilage of Victoria House which will screen views to the rear of this property. With regard to the amenity of No 5 it is noted that only an en-suite window features in the northern flank at first floor and that this could be conditioned as obscure glazed and fixed shut up to 1700mm from floor level thereby protecting the residential amenity of the adjoining dwelling; although it is recognised that there is sufficient separation between these two dwellings. With regard to the rear first floor windows there are no issues of overlooking to resolve as any views from these windows would be oblique and away from the more private areas of the adjoining dwellings.
- 9.3.5 The proposed garage will maintain a distance of circa 1 metre from the common boundary and will be circa 15 metres wall-to-wall at the closest point from this dwelling accordingly no issues of residential amenity arise in this regard.
- 9.3.6 Based on the above there are no issues of residential amenity arising from the proposal and compliance with Policy LP16(e) is achieved in this regard.

9.4 Applicant's supporting statement

- 9.4.1 The applicant has indicated that the dwelling has an office situated on the ground floor that provides working accommodation with Mrs Turnbull being a child minder and Mr Turnbull being a project manager for an environmental company. Accordingly the applicant feels that the dwelling will sustain itself as the property allows them to work from home.
- 9.4.2 Whilst the live/work argument is acknowledged, it is not considered essential for the property to be located outside a settlement as a similar arrangement could be delivered within a settlement and more sustainable location.
- 9.4.3 It is further noted that a childminding service from the property would be unsustainable as whilst the occupier may not then need to travel, their customers

and their children would have to travel from elsewhere to the property. As such no weight may be given to this supporting information.

- 9.4.4 In addition, the applicant makes reference to recently approved applications for residential development in the open countryside. These developments were granted either through their compliance with paragraph 55 of the NPPF in respect of exceptional design, rural building conversions or benefiting from permission under the revoked 1993 development plan. Notwithstanding this, each application is determined on its own merits and it is concluded that any benefits resulting from this development do not outweigh the policy conflict.

9.5 Health and wellbeing

- 9.5.1 Policy LP2 of the FLP seeks to deliver development which positively contributes to creating a healthy, safe and equitable environment, creating an environment (built and social) in which communities can flourish. This is generally secured through the various policies contained within the FLP.
- 9.5.2 It is acknowledged that the development would provide housing however this would be located in an unsustainable area with poor access to services and facilities. As such it is considered that the proposal would not achieve the aims of policy LP2.

9.6 Economic Growth

- 9.6.1 The application constitutes an increase in housing stock which promotes economic growth in accordance with policy LP6 of the Fenland Local Plan 2014. However this does not outweigh the fundamental conflict with other policies of the FLP.

10 CONCLUSIONS

- 10.1 The proposal would provide a family size dwelling which represents no issues in terms of design, character, highway safety, flood risk or residential amenity. However, the principle of development is unacceptable as it would result in the introduction of a dwelling within an open countryside location with no relevant justification. As such the proposal is considered unsustainable and contrary to both national and local plan policies.

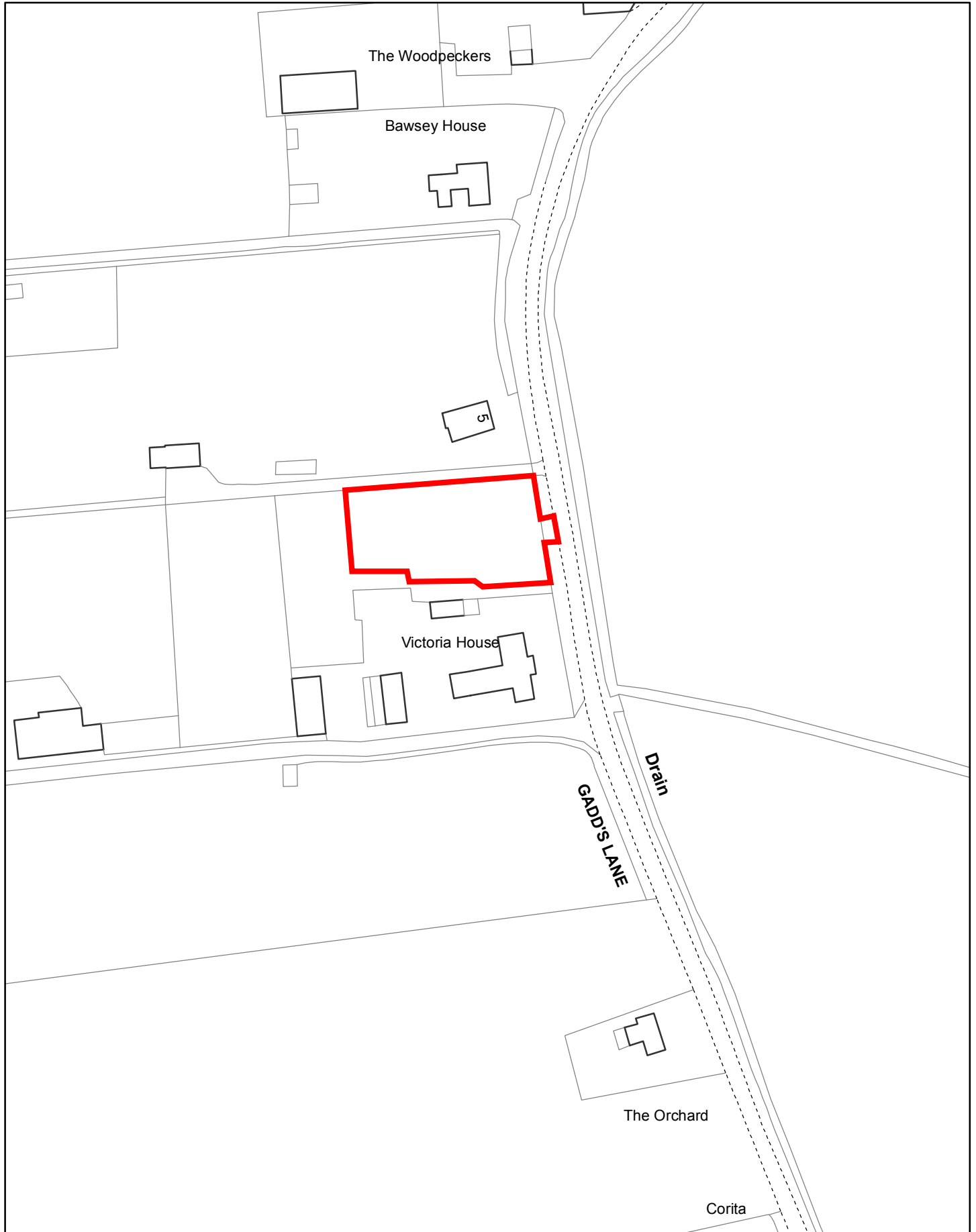
The development therefore fails to comply with policy LP3 of the FLP.

11 RECOMMENDATION

Refuse for the following reason;

- 1 Policy LP3 of the Fenland Local Plan 2014 and national planning policy guidance steers new development to sustainable areas that offer the best access to services and facilities. This is unless it can be demonstrated that such development is essential to the effective operation of local agriculture, horticulture, forestry, outdoor recreation, transport or utility services, or that there is a justifiable reason for locating development in otherwise unsustainable locations. The proposed dwelling would be located in the open countryside and would not be essential for any of the enterprises as defined in LP3 and therefore the principle of development in this location would not be consistent with this local policy and national guidance. Whilst

the national planning guidance seeks to support a prosperous rural economy this does not override the need to ensure that development is located in the most accessible and sustainable locations. The proposed development is located outside any settlement limits and no relevant justification has been provided to indicate to the local planning authority that the development could be considered as an exception. The proposal is therefore contrary to Local Plan Policy LP3 of the Fenland Local Plan (adopted May 2014).



Created on: 04/04/2016

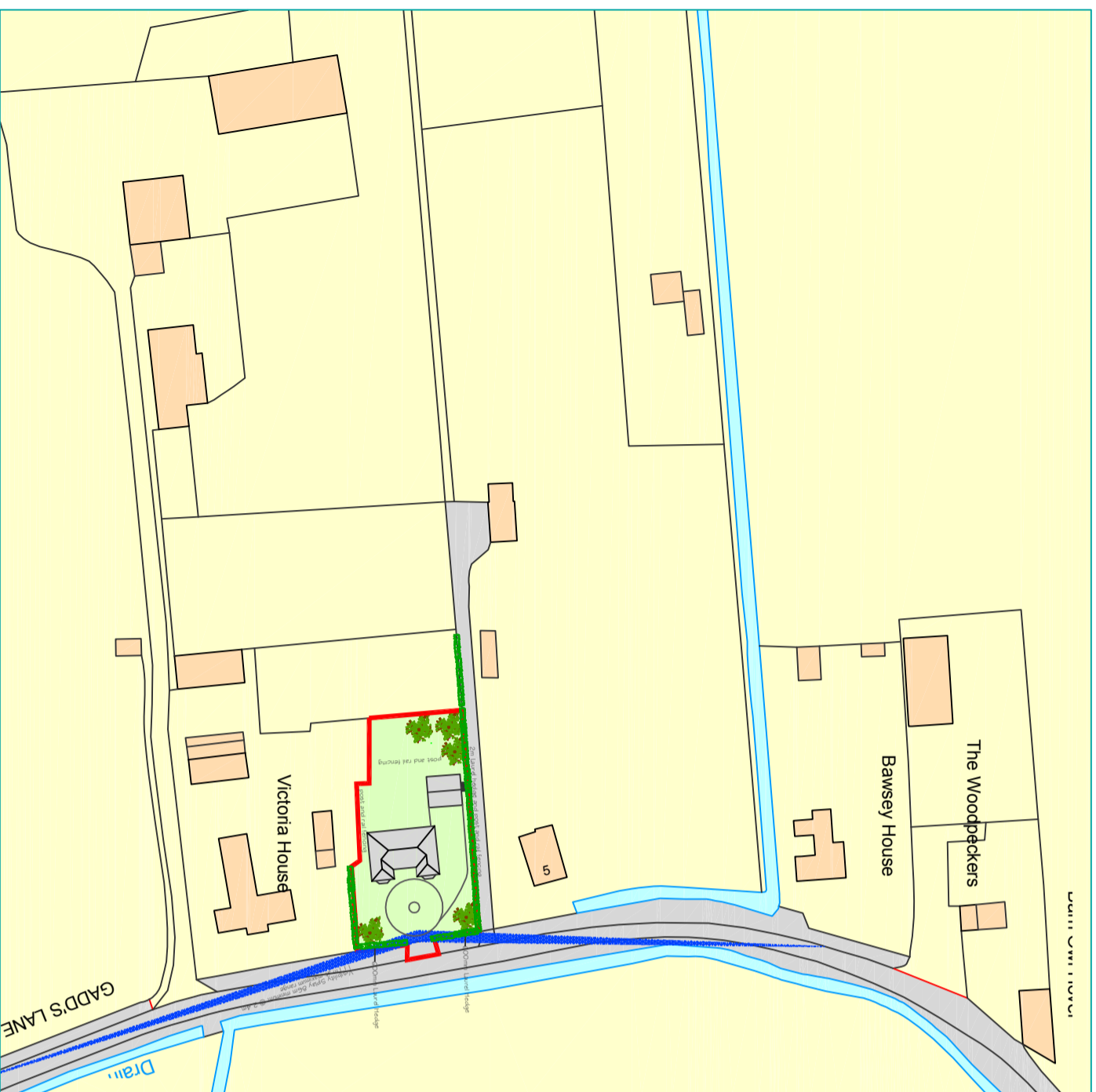
© Crown Copyright and database
rights 2016 Ordnance Survey 10023778

F/YR16/0218/F

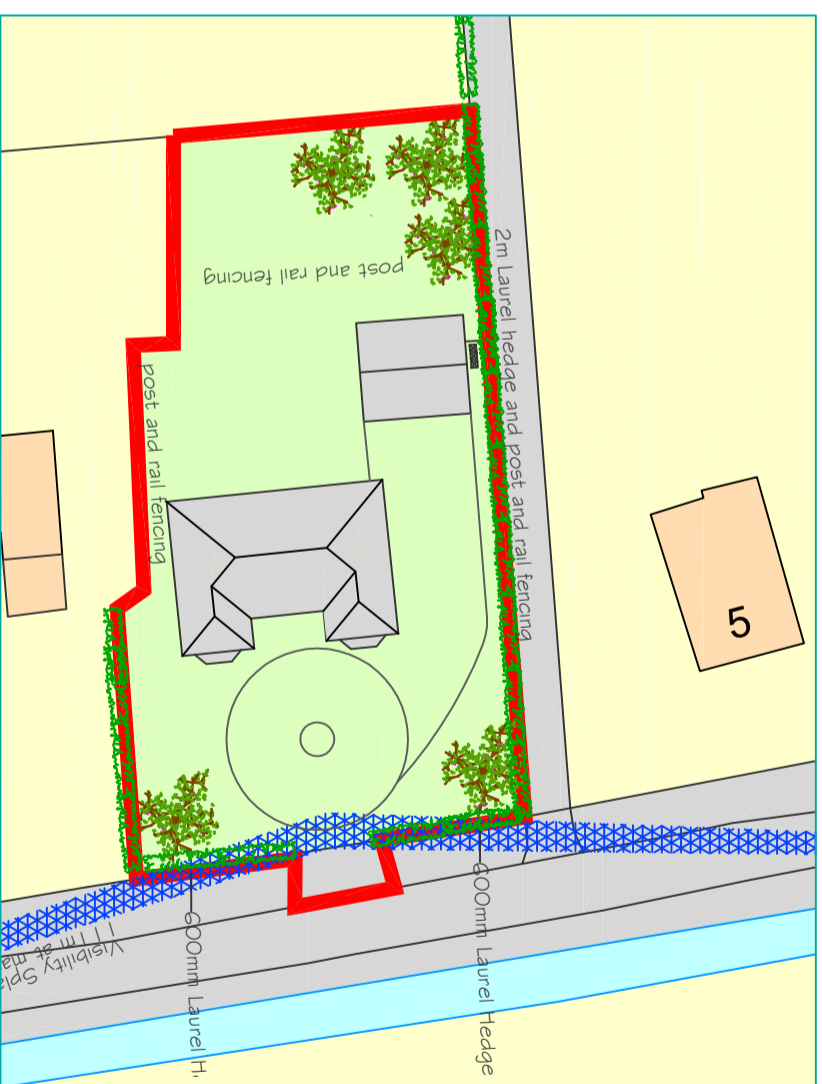
Scale = 1:1,250



REVISIONS:
 25-11-15 deepen house to create large ens and kitchen
 27-11-15 alter windows size/additional remove f.doors
 31/21/15 move WC make Utility larger/ move stairs



PROPOSED LOCATION PLAN 1:1250



PROPOSED SITE PLAN 1:500



Scale: AS SHOWN
 Proposed Site plans NS/19/03
 Land adj to Victoria House
 Gadd's Lane
 Levernigton
 Wisbech

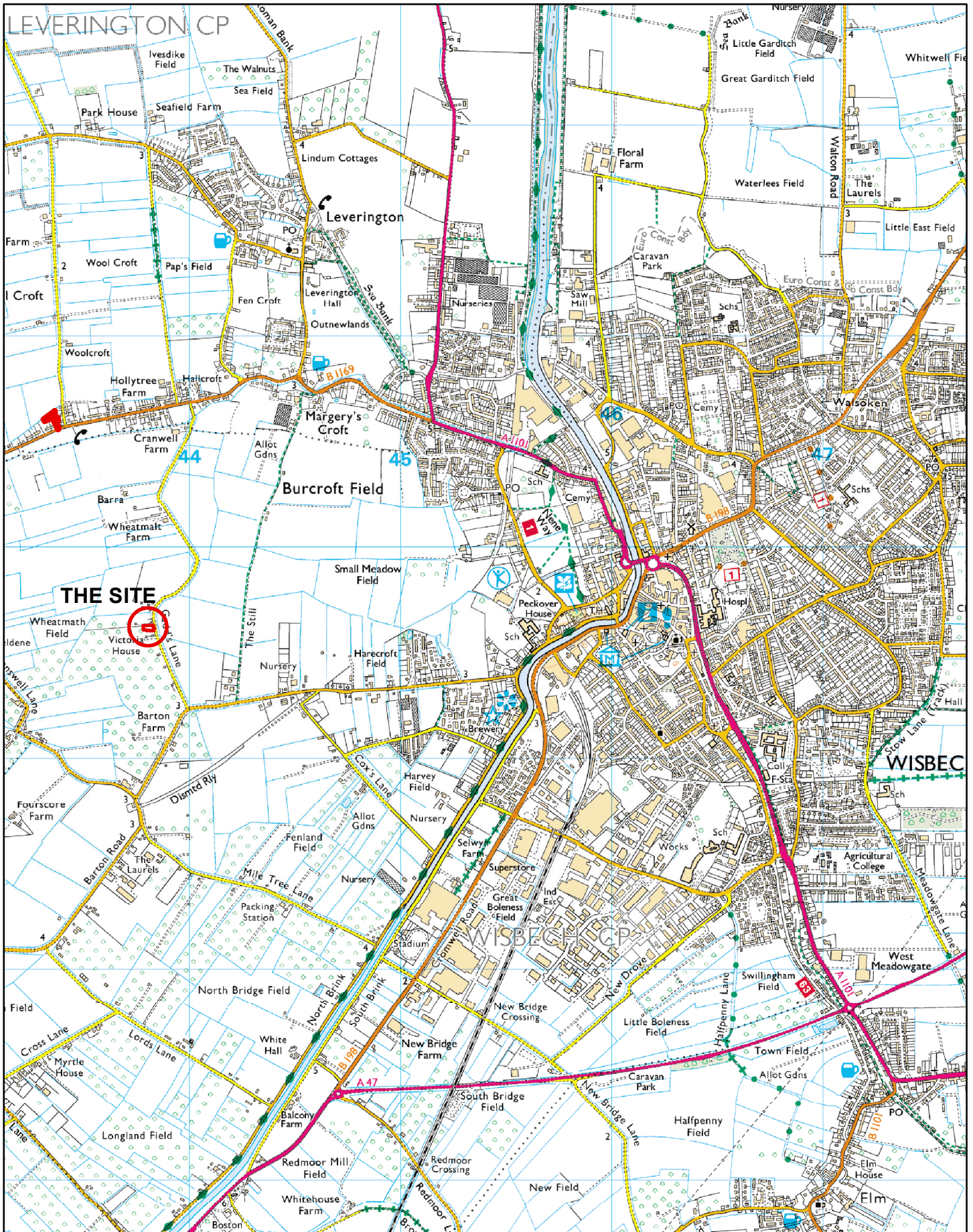


Architect Technician Design Service

Southfork Farm
 Seadyke Road
 Murrrow
 Cambridgeshire
 PE13 4SD
 T: 07891 175649
 E: info.alexandradesign@gmail.com
 W: www.alexandradesign.co.uk

DO NOT SCALE FROM THIS DRAWING

The drawing and design remains the copyright
 property of Alexandra Design



Created on: 12/05/2016

© Crown Copyright and database rights 2016 Ordnance Survey 10023778

F/YR15/1087/F

Scale = 1:24,000

